

# **THE VILLAGE OF HERITAGE HILL**

## **A PLANNED UNIT DEVELOPMENT**

### **ANNEXATION AND ZONING MAP AMENDMENT ORDINANCE**

#### **Petitioner**

**Rolling Hills, LLC  
3717 Clarks Creek Road  
Plainfield, IN 46168  
(317) 839-5944**

#### **Engineer**

**Jeff Banning  
Banning Engineering, P.C.  
853 Columbia Rd., Ste 101  
Plainfield, IN 46168  
(317) 707-3700**

#### **Attorney**

**Amy Comer Elliott  
Comer Law Office  
71 West Marion Street  
Danville, IN 46122  
(317) 745-4300**

**DRAFT October 21, 2010**

**TABLE OF CONTENTS**

Ordinance to Annex and Zone ..... 3

Exhibit “A” - Legal Description ..... 5

Exhibit “B” - Vicinity Map ..... 7

Exhibit “C” - Location Map ..... 8

Development Statement ..... 9

Section 1 – Annsdale..... 10

Section 2 – New England Way and New England Way South ..... 14

Section 3 – The Hamptons ..... 18

Section 4 – Camargo Club ..... 22

Section 5 – Legacy Park ..... 24

Section 6 – Heritage Crossing..... 29

Section 7 – Open Space and Amenities Commitments ..... 32

Section 8 – Landscape Requirements-Single Family Residential ..... 33

Section 9 – Signage Requirements ..... 35

Exhibit “D” – Residential Architectural Elevations ..... 36

Exhibit “E”- Street Lights..... 48

Exhibit “F”- Northfield Drive Landscaping ..... 49

Exhibit “G” – Monotony Code ..... 50

**STATE OF INDIANA  
COUNTY OF HENDRICKS  
BROWNSBURG, INDIANA**

**ORDINANCE NO. 2010-\_\_\_\_\_**

**An Ordinance to Annex and Zone  
THE VILLAGE OF HERITAGE HILL**

BE IT ORDAINED by the Civil Town of Brownsburg, Hendricks, Indiana, that:

WHEREAS, ROLLING HILLS, LLC, Petitioner, has petitioned the Town Council to annex and rezone a part of Section 27, Township 16 North, Range 1 East, Lincoln and Washington Townships, Brownsburg, Indiana; said real estate being more particularly described on the attached Exhibit "A"; and

WHEREAS, the Town Council of the Town of Brownsburg, Indiana, has heretofore considered and adopted a Fiscal Plan, Resolution \_\_\_\_-\_\_\_\_\_, for such real estate as required by law; and,

WHEREAS, the property sought to be annexed is situated outside the corporate boundaries of the municipal Town of Brownsburg, Hendricks County, Indiana; and

WHEREAS, the Petitioners are the owners of more than fifty-one per cent (51%) of the land sought to be annexed; and

WHEREAS, at least (one-eighth (1/8) or one-fourth (1/4)) of the aggregate external boundaries of the real estate sought for annexation coincides with the present boundaries of the Town of Brownsburg, Indiana; and

WHEREAS, the Brownsburg Plan Commission has considered said rezoning at a public hearing held September 27 2010, and by a vote of its members, has made a favorable recommendation to the Brownsburg Town Council to rezone said real estate as set forth herein.

NOW, THEREFORE, by the powers vested in the Town Council of the Town of Brownsburg, Hendricks County, Indiana, it is hereby ordered and ordained that the real estate herein referenced, be, and the same is hereby:

1. Annexed to the municipal Town of Brownsburg, Hendricks County, Indiana; and
2. Rezoned to P.U.D.: Planned Unit Development;

subject to the following terms and conditions:

- a. of the attached Zoning Ordinance comprising pages 9 - 50 attached.
- b. The Clerk-Treasurer of Brownsburg, Indiana, shall cause a copy of this Ordinance to be recorded in the Office of the Recorder of Hendricks County, Indiana, and further shall cause a copy of this ordinance to be published in the Weekend Flyer for one (1) week with proof of publication being returned to the Clerk-Treasurer; all costs incurred in the publishing of said ordinance and recording same shall be paid by petitioner.

SAID ORDINANCE OF ANNEXATION AND REZONING is hereby PASSED and ADOPTED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2010.

**TOWN OF BROWNSBURG  
BROWNSBURG, INDIANA**

By: \_\_\_\_\_  
Matthew Bowles, President

ATTESTED BY:

\_\_\_\_\_  
Jeanette M. Brickler  
Clerk-Treasurer of the Town of  
Brownsburg, Indiana

## Exhibit "A"

### Legal Description

That portion of Section 27, Township 16 North, Range 1 East of the Second Principal Meridian, Hendricks County, Indiana, described as follows:

Considering the east line of the Northeast Quarter of said Section 27 as bearing South 01 degree 17 minutes 13 seconds East based on NAD 83 (1997) Indiana State Plane Coordinates, West Zone, with all bearings contained herein being relative thereto.

Commencing at a brass plug found marking the northeast corner of said Northeast Quarter; thence South 01 degree 17 minutes 13 seconds East (South 00 degrees 00 minutes 00 seconds East by deed) along the east line of said Quarter Section 1334.90 feet to a Mag nail found at the **POINT OF BEGINNING**; thence South 87 degrees 59 minutes 17 seconds West 1332.01 feet (South 89 degrees 16 minutes 30 seconds West 1335.80 feet by deed) to a 5/8 inch rebar with "BANNING ENG LS29800001" cap set (herein referred to as "rebar set") on the east line of the West Half of said Northwest Quarter; thence North 01 degree 19 minutes 54 seconds West along said east line 357.84 feet (North 00 degrees 00 minutes 00 seconds East 357.28 feet by deed) to a rebar set; thence South 88 degrees 32 minutes 40 seconds West (South 89 degrees 48 minutes 22 seconds West by deed) parallel with the north line of said Northeast Quarter 660.00 feet to a rebar set; thence North 01 degree 19 minutes 54 seconds West (North 00 degrees 00 minutes 00 seconds East by deed) parallel with said east line 990.00 feet to a rebar set on the north line of said Northwest Quarter; thence South 88 degrees 32 minutes 40 seconds West along said north line 672.96 feet (South 89 degrees 48 minutes 22 seconds West 675.70 feet by deed) to an 8" X 10" X 12" stone found marking the north quarter corner of said Section 27; thence South 87 degrees 41 minutes 41 seconds West along the north line of the East Half of the Northwest Quarter of said Section 1331.76 feet (South 89 degrees 06 minutes 44 seconds West 1335.70 feet by deed) to a PK nail found marking the northwest corner of said Half Quarter Section; thence South 01 degree 10 minutes 59 seconds East along the west line thereof 2674.19 feet (South 00 degrees 00 minutes 00 seconds East 2668.06 feet by deed) to a rebar set at the northwest corner of the East Half of the Southwest Quarter of said Section 27; thence South 01 degree 34 minutes 19 seconds East (South 00 degrees 06 minutes 37 seconds East by deed) along the west line thereof 1105.50 feet to a rebar set; thence North 88 degrees 10 minutes 28 seconds East (North 89 degrees 06 minutes 44 seconds East by deed) parallel with the north line of said Half Quarter Section 940.50 feet to a rebar set; thence North 01 degree 34 minutes 19 seconds West (North 00 degrees 06 minutes 37 seconds West by deed) parallel with said west line 379.50 feet to a rebar set; thence North 88 degrees 10 minutes 28 seconds East parallel with said north line 397.64 feet (North 89 degrees 06 minutes 44 seconds East 395.20 feet by deed) to the west line of the Southeast Quarter of said Section 27; thence continue North 88 degrees 10 minutes 28 seconds East parallel with the north line of said Southeast Quarter 1331.56 feet (North 89 degrees 48 minutes 22 seconds East 1335.70 feet by deed) to a rebar set on the west line of the East Half of said Southeast Quarter; thence North 01 degree 25 minutes 33 seconds West along said west line 726.01 feet (North 00 degrees 06 minutes 37 seconds West 726.00 feet by deed) to a rebar set at the northwest corner of said Half Quarter Section; thence North 88 degrees 10 minutes 28 seconds East along the north line thereof 1330.93 feet (North 89 degrees 48 minutes 22 seconds East 1335.70 feet by deed) to a brass plug found marking the east quarter corner of said Section 27; thence North 01 degree 17 minutes 13 seconds West along the east line of the Northeast Quarter thereof 1333.17 feet (North 00 degrees 00

minutes 00 seconds East 1333.16 feet by deed to the **POINT OF BEGINNING**, containing 242.551 acres, more or less.

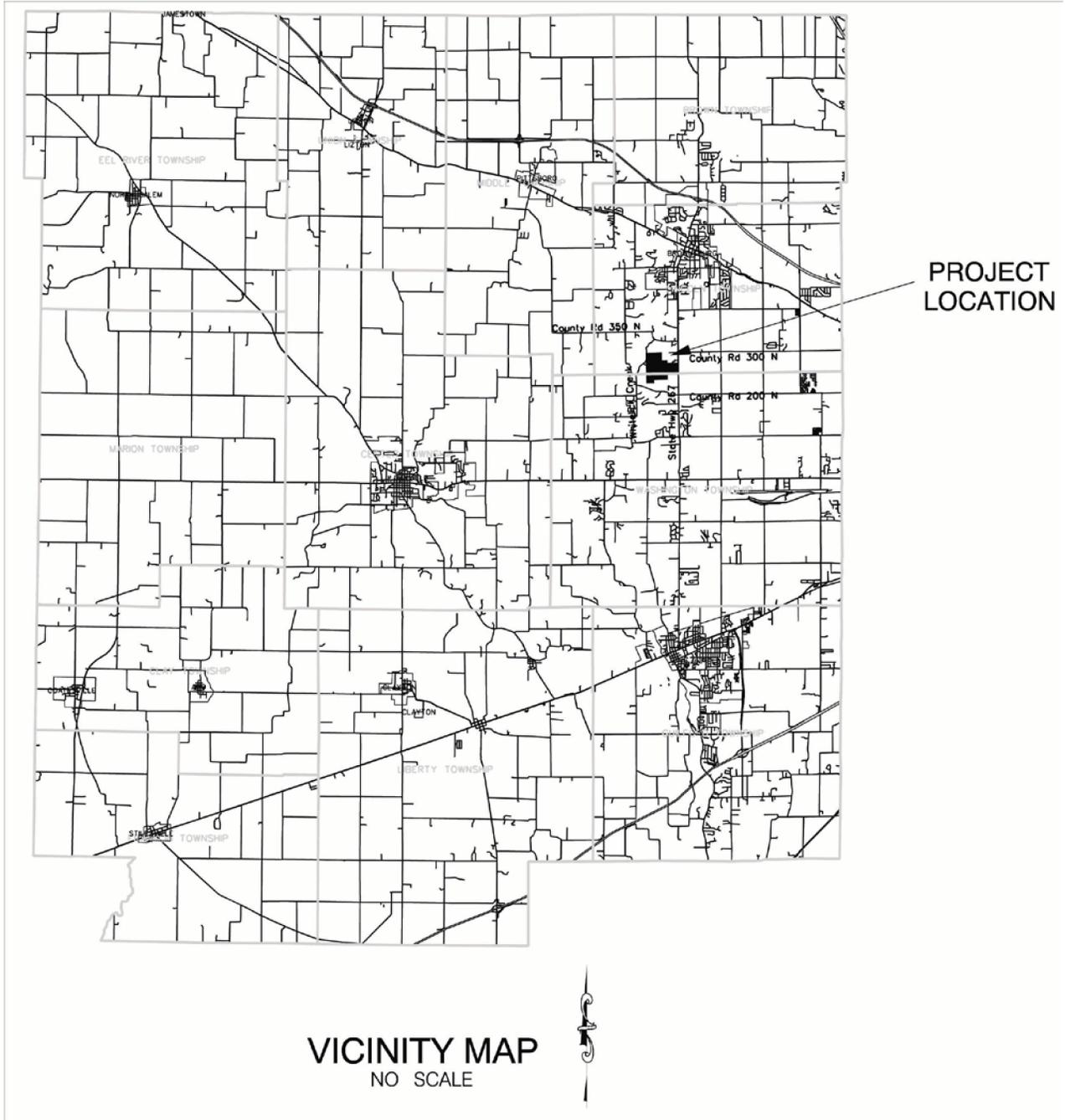
The above description includes Legacy Park, New England Way, Amenity Center at the Village of Heritage Hills, and Camargo Club, Phase 2, as per plats thereof recorded as Instrument Numbers 200813836, 2007-21233, 201010297, and 201010297, respectively, in the Office of the Recorder of Hendricks County, Indiana.

ALSO, New England Way South as per plat thereof recorded as Instrument Number 2007-19002 in the Office of the Recorder of Hendricks County, Indiana, containing 33.744 acres, more or less.

Containing in all 276.295 acres, more or less.

**Exhibit "B"**

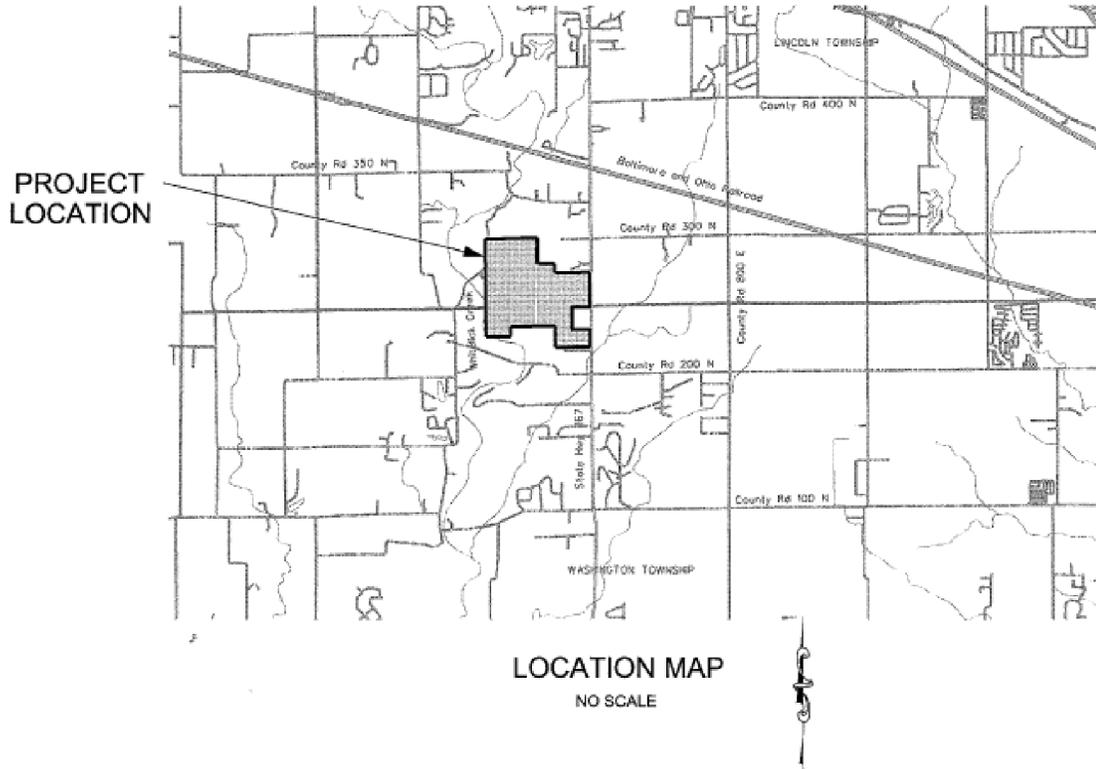
**Vicinity Map**



...P:\ellm\ray\030709\PaT4.dgn 01/06/2004 01:21:00 PM

**Exhibit "C"**

**Location Map**



## Development Statement

The Village of Heritage Hill provides a collection of homes, condominiums, apartments and commercial businesses. The property is generally flat on the easternmost end but is rolling, wooded and features deep ravines and wetlands toward the west end. This topography, along with the existence of capped landfills, which restricts construction near them, lend the property perfectly for a planned unit development. White Lick Creek runs through the southwest corner of the property. The approximately 102 acres of common open space preserves many of these features.

A good portion of the wooded and floodway areas is being maintained in its natural condition. New landscape plantings will be added within each community along with buffering along the perimeters and Northfield Drive, and massed at the entrances. The additional landscape plantings will consist of evergreen trees, the clustering of deciduous trees, and shrub masses to create an attractive landscape screen. Ornamental grasses, flowering shrubs, perennials, and wildflowers are incorporated into the landscape planting plan to bring color, mass and a variety of textures to the overall landscape. Street trees will be a mix of evergreens and hardwood trees.

Existing trees occur along the south property line of Camargo Club along both sides of Northfield Drive at the west end towards County Road 600 East, and along the north line of Legacy Park. Where these trees occur, they will be conserved as much as possible and augmented, if necessary with additional plantings. The Owners Associations, created as part of this development, will be responsible for maintenance of the trees and landscaping. Funding will be provided through the annual assessment mechanism.

The implementation of various drainage designs and mechanisms provides relief to area drainage concerns and persistent problems. The use of detention ponds brings opportunity to use them as an amenity to the overall development. Water is incorporated at different locations within The Village of Heritage Hill by using fountains and aerators as a feature in the detention ponds in the different communities.

Signage for the development embodies the use of masonry materials, such as brick and cultured stone, which brings a consistent character throughout the various communities. Each individual community has its own identification signage.

The Town of Brownsburg has a Thoroughfare Plan which includes a bypass circling the Town. Over one mile of the bypass/Northfield Drive crosses this property. The developers are donating and dedicating the entire right-of-way for Northfield Drive. The developer has constructed a portion of Northfield Drive, which together with the right-of-way dedication, creates a great benefit to the Town and the County.

The Village of Heritage Hill is comprised of the following communities. The apartment and low maintenance communities are known as Legacy Park and Camargo Club, respectively. Annsdale, New England Way, New England Way South and The Hamptons provide single-family homes. Heritage Crossing provides general commercial businesses to the area. The development standards for each community are set forth below. All these communities will be served by sanitary sewers and public water facilities.

The terms and words used in this ordinance shall be as defined in the Brownsburg Zoning Ordinance. Those words not specifically defined shall be as defined by a common English dictionary.

## SECTION 1

### Annsdale

#### **1.01 PURPOSE**

The purpose of Annsdale is to permit single family homes with lots having centralized sewer and water facilities.

#### **1.02 PRINCIPLE USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- A. Single Family Dwelling
- B. Model Home
- C. Non-commercial Passive/Active Recreation
- D. Nature Preserves

#### **1.03 ACCESSORY USES PERMITTED**

Accessory uses shall be permitted as follows:

- A. Signs
- B. Accessory Building
- C. Home Occupations
- D. Other accessory uses and structures in conjunction with a primary use or structure provided the accessory use does not change the character of the district.

Accessory uses and buildings shall be incidental and subordinate in height, area, bulk, extent and purpose to the principle use. Accessory buildings shall not be erected prior to the principal building.

#### **1.04 SPECIAL EXCEPTION USES PERMITTED**

Special exception uses shall be permitted as follows:

- A. Home Day Care

#### **1.05 DEVELOPMENT STANDARDS**

A. Property Development Standards: The minimum dimensions of lots, yards and building heights shall be as follows:

- |                                     |  |
|-------------------------------------|--|
| 1. <u>Minimum Lot Area:</u>         | 7,500 square feet  |
| 2. <u>Minimum Lot Width:</u>        | 60 feet at building setback  |
| 3. <u>Maximum Lot Coverage:</u>     | 50 percent   |
| 4. <u>Minimum Ground Floor Area</u> | 1,500 sq. ft./ single story*<br>1,200 sq. ft./ multi-story**<br>(1700 sq. ft. total) |

\* No more than 30% of homes shall be minimum

\*\*If over 1700 sq. ft. no first floor minimum required

- |   |            |
|---|------------|
| 5. <u>Maximum Height</u>                                | 35 feet    |
| 6. <u>Minimum Front Yard Setback</u>                    | 25 feet    |
| 7. <u>Minimum Setback from Northfield Drive</u>         | 50 feet    |
| 8. <u>Minimum Side Yard Setback</u>                     | 5 feet     |
| 9. <u>Minimum Distance Between Principal Structures</u> | 10 feet    |
| 10. <u>Minimum Rear Yard Setback</u>                    | 10 feet    |
| 11. <u>Minimum Lot Frontage at R/W</u>                  | 35 feet    |
| 12. <u>Minimum Off Street Parking Spaces</u>            | 2 per unit |

B. Buffer/Landscape Requirements

Buffer/Landscape Requirements shall be as regulated in Section 8 of this Ordinance.

C. Architectural Requirements

- 1A. All homes shall have a full brick wrap on the first floor of each home. This will include front, sides and rear of the homes. Natural stone or cultured stone may also be used to accent architectural features on the front facade of the homes and/or
- 1B. All homes shall have 100% brick, natural stone, cultured stone, stucco or fiber cement board on the front elevation of the home, excluding doors, windows and other openings and returns defined as any areas that run perpendicular to the front façade of the home. The foregoing requirements may be modified by an individual neighborhood's HOA and/or architectural committee on a case by case basis (e.g. Victorian, Country French, Northern Craftsman, Low Country, Colonial, Cape Cod, Cottage or other styles that lend themselves to the use of less brick, stone or stucco material. Examples of some of these styles are provided on attached Exhibit "D").
2. No vinyl or aluminum siding shall be permitted.
3. All homes shall have the following features:
  - a) Dimensional shingles.
  - b) All roof pitches shall be 6/12 minimum, exclusive of porches, bump-outs, or dormers.
  - c) All homes shall have a finished 8 inch overhang on all elevations, including elevations with brick, natural stone or cultured stone.
  - d) All homes shall be designed as much as practicable so as to obscure the view of equipment vents from the street.
  - e) Soffits, gutter boards, and fascia shall be constructed with fiber cement products. Windows shall be wood or vinyl.

- f) Minimum attached two (2) car garage.
  - g) All drives shall be concrete.
  - h) Interior or exterior chimneys shall be brick, masonry, fiber cement siding, stone or cultured stone for applicable architectural styles only.
  - i) Home Owners Association shall approve plans prior to submitting for permit.
  - j) All homes will be subject to all provisions of the covenants, conditions and restrictions as set forth in the Declaration recorded July 7, 2010 as Instrument Number 201013802 in the office of the Recorder of Hendricks County, Indiana.
4. Additionally, all homes shall have at least three (3) of the following features:
- a) Bay, dormer, boxed out or oriel windows on a front or rear elevation; or, for a corner lot, the side elevation of the home facing the street.
  - b) Reverse gable or hip roof on a portion of the roof.
  - c) Covered front porch supported by columns. Porch must be a minimum of twenty (20) square feet.
  - d) Decorative door surround, trim molding or header and decorative front door, sidelights or transom.
  - e) Side garage bump-out (minimum 2 feet).
  - f) Shutters on windows or window grids on the front or rear elevation.
  - g) A separate overhead door for each single garage bay.
  - h) Two or more roof planes visible (change in elevation or direction of roof ridge) on the front of the house.
  - i) At least four (4) feet of relief at one or more points along the front or rear elevation.
  - j) Decorative garage door with windows.
  - k) Architectural details such as quoins, pilasters, cornices, and dentil molding.
  - l) Any three car garage shall have a two feet (2') offset for the third car bay from the main garage and all garage doors shall contain decorative (i.e. windows, carriage doors, etc.) garage doors. The bay for the third car shall also have an additional feature over the bay for the third car consisting of either a dormer, reverse gable or similar feature.
5. The side and rear elevations of a home which abut a right-of-way and can be viewed from that street shall be treated as a "front" of the home and have a least two (2) of the following features on all sides and must comply with all provisions set forth in this Ordinance regarding the front of homes.
- a) Dormers on the side and/or rear elevation which faces a street.
  - b) Reverse gable or hip roof or a portion of the roof which faces a street.
  - c) Covered porch (minimum 20 square feet).
  - d) Decorative door surround, trim molding or header.
  - e) Shutters on windows or window grids.
  - f) Bay or oriel windows (on viewable sides).
  - g) Pop-out room a minimum of three (3) feet by ten (10) feet such as sun room or breakfast nook (on viewable sides).
  - h) Screen porch (on viewable sides) (minimum 120 square feet).
  - i) Cantilevered second story (on viewable sides).
  - j) Raised wood deck, a minimum of eight (8) feet by ten (10) feet (on viewable sides).

D. Additional Requirements include:

1. A monotony code shall govern the construction of the homes as identified in Exhibit "G".
2. All internal streets shall be dedicated streets thirty-two (32) feet wide from back of curb to back of curb with fifty (50) feet of right of way built to Town thickness requirements and a twenty (20) mile per hour design speed. Tangent distances between reverse curve elements and straight distances before intersections shall not be required. Sidewalks shall be constructed on both sides of the internal streets and shall be five (5) feet in width.
3. Decorative street lighting shall be placed along all internal streets and shall be full cut-off fixtures. The description of the lighting will be either the same or similar to Exhibit "E".
4. All mailboxes shall have a common post design, box size and color approved by the developer.
5. Changes to the exterior building materials and/or the minimum side yard setback shall not be made without written approval of the Brownsburg Fire Territory.
6. The following language shall appear on the final plat for all owners of all lots located along a ravine or significant slope as defined by the Hendricks County Surveyor: "Any property owner(s) of a lot contained within this Plat hereby releases and holds harmless The County of Hendricks, State of Indiana, and the Town of Brownsburg for any potential erosion to any lot herein which may be caused by the construction of a home thereon or for any other causation, foreseeable or unforeseeable."
7. A model court consisting of up to five (5) model homes will be allowed within the subdivision. Associated marketing signage, flagpoles, banners, and pennants will be allowed as well as providing for directional signage to the court within the subdivision. A paved parking lot may be installed having 10 – 15 spaces and associated landscaping. Fencing may be installed to enclose the models within the court.

The following shall apply to Signage within a model park:

- a) Each model home shall be allowed one (1) sign per model, indicating the corresponding name of the Dwelling. The maximum size of a model sign is 32 square feet.
- b) A sign monument shall be allowed to designate the model park. The maximum size of the model park sign panel would be 40 square feet.

## **SECTION 2**

### **New England Way and New England Way South**

#### **2.01 PURPOSE**

The purpose of New England Way and New England Way South is to permit single family homes with lots having centralized sewer and water facilities. All public infrastructure is existing.

#### **2.02 PRINCIPLE USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- A. Single Family Dwelling
- B. Non-Commercial Passive/Active Recreation

#### **2.03 ACCESSORY USE PERMITTED**

Accessory uses shall be permitted as follows:

- A. Signs
- B. Home Occupations
- C. Other accessory uses and structures in conjunction with a primary use or structure provided the accessory use does not change the character of the district.

Accessory uses and buildings shall be incidental and subordinate in height, area, bulk, extent and purpose to the principle use. Accessory buildings shall not be erected prior to the principal building.

#### **2.04 SPECIAL EXCEPTION USES PERMITTED**

Special exception uses shall be permitted as follows:

- A. Home Day Care

#### **2.05 DEVELOPMENT STANDARDS**

A. Property Development Standards: The minimum dimensions of lots, yards and building heights shall be as shown if the following:

- |                                       |   |
|---------------------------------------|---|
| 1. <u>Minimum Lot Area:</u>           | 15,000 square feet  |
| 2. <u>Minimum Lot Width:</u>          | 100 feet at the building setback line   |
| 3. <u>Maximum Lot Coverage:</u>       | 40 percent  |
| 4. <u>Minimum Ground Floor Area</u>   | 2200 square feet/single story<br>1400 square feet/multi-story<br>(2800 sq. ft. total) |
| 5. <u>Maximum Height:</u>             | 40 feet   |
| 6. <u>Minimum Front Yard Setback:</u> | 35 feet   |

- |  |  |
|--|--|
| 7. <u>Minimum Side Yard Setback</u>                      | 10 feet  |
| 8. <u>Minimum Distance Between Principal Structures:</u> | 20 feet  |
| 9. <u>Minimum Rear Yard Setback:</u>                     | 15 feet (30 feet along exterior property line) |
| 10. <u>Minimum Lot Frontage at the R/W:</u>              | 50 feet  |
| 11. <u>Minimum Off Street Parking Spaces:</u>            | 2 per unit                                     |

B. Buffer/Landscape Requirements

Landscaping requirements shall be as regulated in Section 8 of this Ordinance.

C. Architectural Requirements

The minimum architectural requirements shall be as follows:

1. All homes shall have a veneer of wood, masonry, brick, fiber cement siding, natural stone and/or cultured stone materials.
2. No vinyl or aluminum siding shall be permitted.
3. All homes shall have the following features:
  - a) Dimensional shingle.
  - b) All roof pitches should be 8/12 minimum, exclusive of porches, bump-outs, or dormers.
  - c) All homes shall have a 12 inch overhang except where brick extends to the eave in which overhang shall be 8 inch.
  - d) All homes shall be designed as much as practicable so as to obscure the view of equipment vents from the street.
  - e) Soffits and gutter boards shall be constructed with wood or fiber cement products. Windows shall be wood or vinyl.
  - f) Minimum attached two (2) or three (3) car side load garage, except on lots with topography that does not allow side load garage, then two (2) car or three (3) car front load garage is permitted. The garage door shall comprise no more than 40% of the front façade of the home without requiring the garage to be offset by a minimum of 12 inches.
  - g) All drives shall be concrete.
  - h) Interior or exterior chimneys shall be brick, masonry, fiber cement products, stone or cultured stone.
4. Additionally, all homes shall have at least five (5) of the following features:
  - a) Bay, “boxed-out”, dormer or oriel windows on a front or side elevation.
  - b) Hip roof.
  - c) Covered front porch (minimum 20 sq. ft).
  - d) Decorative door surround, trim molding or header and decorative front door, sidelights or transom.
  - e) Side garage bump-out (minimum 2 feet).
  - f) Shutters on windows or window grids on the front elevation.
  - g) A separate overhead door for each single garage bay.

- h) Two or more roof planes visible (change in elevation or direction of roof ridge) on the front of the house.
  - i) Veranda/balcony.
  - j) At least four (4) feet of relief at one or more points along the front or rear elevations.
  - k) Decorative geometric front, rear and side gable roof vents or windows.
  - l) Architectural details such as quoins, pilasters, cornices, and dentil molding.
5. The side and rear elevations of a home which abut a right-of-way and can be viewed from that street shall have a least three (3) of the following features on all sides.
- a) Dormers.
  - b) Hip roof.
  - c) Covered porch (minimum 20 sq. ft.).
  - d) Decorative door surround, trim molding or header.
  - e) Shutters on windows or window grids.
  - f) Bay or oriel windows (on viewable sides).
  - g) Pop-out room a minimum of three (3) feet by ten (10) feet such as sun room or breakfast nook (on viewable sides).
  - h) Screen porch (on viewable sides) (minimum 120 square feet).
  - i) Cantilevered second story (on viewable sides).
  - j) Raised wood deck, a minimum of eight (8) feet by ten (10) feet (on viewable sides).

#### D. Additional Requirements

The following additional requirements shall be met:

1. All internal streets shall be dedicated streets 30 feet wide from back of curb to back of curb, built to thickness requirements and a 20 mph design speed consistent with the existing streets. Tangent distances between reverse curve elements and straight distances before intersections shall not be required.
2. Sidewalks shall be constructed on both sides of all internal streets.
3. Decorative street lighting shall be placed along all internal streets. The description of the lighting will be either the same or similar to Exhibit "E".
4. All mailboxes shall have a common post design, box size and color approved by the developer.
3. Changes to the exterior building materials and/or the minimum side yard setback shall not be made without written approval of the Brownsburg Fire Territory.
4. A model court consisting of up to five (5) model homes will be allowed within the subdivision. Associated marketing signage, flagpoles, banners, and pennants will be allowed as well as providing for directional signage to the court within the subdivision. A paved parking lot may be installed having 10 – 15 spaces and associated landscaping. Fencing may be installed to enclose the models within the court.

The following shall apply to Signage within a model park:

a) Each model home shall be allowed one (1) sign per model, indicating the corresponding name of the Dwelling. The maximum size of a model sign is 32 square feet.

b) A sign monument shall be allowed to designate the model park. The maximum size of the model park sign panel would be 40 square feet.

**SECTION 3**

**The Hamptons**

**3.01 PURPOSE**

The purpose of The Hamptons is to permit single family homes with lots having centralized sewer and water facilities.

**3.02 PRINCIPLE USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- A. Single Family Dwelling
- B. Model Home
- C. Non-commercial Passive/Active Recreation
- D. Nature Preserves

**3.03 ACCESSORY USES PERMITTED**

Accessory uses shall be permitted as follows:

- A. Signs
- B. Accessory Building
- C. Home Occupations
- D. Other accessory uses and structures in conjunction with a primary use or structure provided the accessory use does not change the character of the district.

Accessory uses and buildings shall be incidental and subordinate in height, area, bulk, extent and purpose to the principle use. Accessory buildings shall not be erected prior to the principal building.

**3.04 SPECIAL EXCEPTION USES PERMITTED**

Special exception uses shall be permitted as follows:

- A. Day Care; home

**3.05 DEVELOPMENT STANDARDS**

A. Property Development Standards: The minimum dimensions of lots, yards and building heights shall be as follows:

- |                                     |   |
|-------------------------------------|---|
| 1. <u>Minimum Lot Area:</u>         | 6,000 square feet   |
| 2. <u>Minimum Lot Width:</u>        | 50 feet at building setback   |
| 3. <u>Maximum Lot Coverage</u>      | 60 percent  |
| 4. <u>Minimum Ground Floor Area</u> | 1,400 sq. ft./ single story*<br>1,000 sq. ft./ multi- story**<br>(1500 sq. ft. total) |
- \* No more than 30% of homes shall be minimum  
\*\* If over 1,500 sq. ft. no first floor minimum required

5. <u>Maximum Height</u>	35 feet
6. <u>Minimum Setback from Northfield Drive R/W:</u>	50 feet
7. <u>Minimum Front Yard Setback</u>	25 feet
8. <u>Minimum Side Yard Setback</u>	5 feet
9. <u>Minimum Distance Between Principal Structures</u>	10 feet
10. <u>Minimum Rear Yard Setback</u>	10 feet
11. <u>Minimum Lot Frontage at R/W</u>	35 feet
12. <u>Minimum Off Street Parking Spaces</u>	2 per unit

B. Buffer/Landscape Requirements

Buffer/Landscape Requirements shall be as regulated in Section 8 of this Ordinance.

C. Architectural Requirements

- 1A. All homes shall have a full brick wrap on the first floor of each home. This will include front, sides and rear of the homes. Natural stone or cultured stone may also be used to accent architectural features on the front facade of the homes and/or
- 1B. All homes shall have 100% brick, natural stone, cultured stone, stucco or fiber cement board on the front elevation of the home, excluding doors, windows and other openings and returns defined as any areas that run perpendicular to the front façade of the home. The foregoing requirements may be modified by an individual neighborhood's HOA and/or architectural committee on a case by case basis (e.g. Victorian, Country French, Northern Craftsman, Low Country, Colonial, Cape Cod, Cottage or other styles that lend themselves to the use of less brick, stone or stucco material. Examples of these styles are provided on attached Exhibit "D").
2. No vinyl or aluminum siding shall be permitted.
3. All homes shall have the following features:
  - a) Dimensional shingles.
  - b) All roof pitches shall be 6/12 minimum, exclusive of porches, bump-outs, or dormers.
  - c) All homes shall have a finished eight (8) inch overhang on all elevations, including elevations with brick, natural stone or cultured stone.
  - d) All homes shall be designed as much as practicable so as to obscure the view of equipment vents from the street.
  - e) Soffits, gutter boards, and fascia shall be constructed with fiber cement products. Windows shall be wood or vinyl.
  - f) Minimum attached two (2) car garage.

- g) All drives shall be concrete.
  - h) Interior or exterior chimneys shall be brick, masonry, fiber cement siding, stone or cultured stone on applicable architectural styles only.
  - i) Home Owners Association shall approve plans prior to submitting for permit.
  - j) All homes will be subject to all provisions of the covenants, conditions and restrictions as set forth in the Declaration recorded July 7, 2010 as Instrument Number 201013802 in the office of the Recorder of Hendricks County, Indiana.
4. Additionally, all homes shall have at least three (3) of the following features:
- a) Bay, dormer, boxed out or oriel windows on a front or rear elevation.
  - b) Reverse gable or hip roof on a portion of the roof.
  - c) Covered front porch supported by columns. Porch must be a minimum of twenty (20) square feet.
  - d) Decorative door surround, trim molding or header and decorative front door, sidelights or transom.
  - e) Side garage bump-out (minimum 2 feet).
  - f) Shutters on windows or window grids on the front or rear elevation.
  - g) A separate overhead door for each single garage bay.
  - h) Two or more roof planes visible (change in elevation or direction of roof ridge) on the front of the house.
  - i) At least four (4) feet of relief at one or more points along the front or rear elevation.
  - j) Decorative garage door with windows.
  - k) Architectural details such as quoins, pilasters, cornices, and dentil molding.
  - l) Any three car garage shall have a two feet (2') offset from the main garage and all garage doors shall contain decorative (i.e. windows, carriage doors, etc.) garage doors. The bay for the third car shall also have an additional feature over the bay for the third car consisting of either a dormer, reverse gable or similar feature.
5. The side and rear elevations of a home which abut a right-of-way and can be viewed from that street shall be treated as a "front" of the home and have a least two (2) of the following features on all sides and must comply with all provisions set forth in this Ordinance regarding the front of homes.
- a) Dormers on the side and/or rear elevation which faces a street.
  - b) Reverse gable or hip roof or a portion of the roof which faces a street.
  - c) Covered porch (minimum 20 square feet).
  - d) Decorative door surround, trim molding or header.
  - e) Shutters on windows or window grids.
  - f) Bay or oriel windows (on viewable sides).
  - g) Pop-out room a minimum of three (3) feet by ten (10) feet such as sun room or breakfast nook (on viewable sides).
  - h) Screen porch (on viewable sides) (minimum 120 square feet).
  - i) Cantilevered second story (on viewable sides).
  - j) Raised wood deck, a minimum of eight (8) feet by ten (10) feet (on viewable sides).

#### D. Additional Requirements

The following additional requirements shall be met:

1. A monotony code shall govern the construction of the homes as identified in Exhibit "G".
2. All internal streets shall be dedicated streets thirty-two (32) feet wide from back of curb to back of curb with fifty (50) feet of right of way built to Town thickness requirements and a twenty (20) mile per hour design speed. Tangent distances between reverse curve elements and straight distances before intersections shall not be required. Sidewalks shall be constructed on both sides of the internal streets and shall be five (5) feet in width.
3. Decorative street lighting shall be placed along all internal streets and shall be full cut-off fixtures. The description of the lighting will be either the same or similar to Exhibit "E".
4. All mailboxes shall have a common post design, box size and color approved by the developer.
5. Changes to the exterior building materials and/or the minimum side yard setback shall not be made without written approval of the Brownsburg Fire Territory.
6. The following language shall appear on the final plat for all owners of all lots located along a ravine or significant slope as defined by the Hendricks County Surveyor: "Any property owner(s) of a lot contained within this Plat hereby releases and holds harmless The County of Hendricks, State of Indiana, and the Town of Brownsburg for any potential erosion to any lot herein which may be caused by the construction of a home thereon or for any other causation, foreseeable or unforeseeable."
7. A model court consisting of up to five (5) model homes will be allowed within the subdivision. Associated marketing signage, flagpoles, banners, and pennants will be allowed as well as providing for directional signage to the court within the subdivision. A paved parking lot may be installed having 10 – 15 spaces and associated landscaping. Fencing may be installed to enclose the models within the court.

The following shall apply to Signage within a model park:

- a) Each model home shall be allowed one (1) sign per model, indicating the corresponding name of the Dwelling. The maximum size of a model sign is 32 square feet.
- b) A sign monument shall be allowed to designate the model park. The maximum size of the model park sign panel would be 40 square feet.

**SECTION 4**

**Camargo Club**

**4.01 PURPOSE**

The purpose of Camargo Club is to permit fee simple, low maintenance homes having centralized sewer and water facilities. All public infrastructure is existing.

**4.02 PRINCIPLE USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- A. Non-Commercial Active/Passive Recreation
- B. Condominium Dwelling Units
- C. Club House

**4.03 ACCESSORY USE PERMITTED**

Accessory uses shall be permitted as follows:

- A. Signs
- B. Home Occupations
- C. Other accessory uses and structures in conjunction with a primary use or structure provided the accessory use does not change the character of the district.

Accessory uses and buildings shall be incidental and subordinate in height, area, bulk, extent and purpose to the principle use. Accessory buildings shall not be erected prior to the principal building.

**4.04 DEVELOPMENT STANDARDS**

A. Property Development Standards: The minimum dimensions shall be as follows:

- |  |   |
|--|---|
| 1. <u>Maximum Number of Condominium Units</u>        | 36  |
| 2. <u>Minimum Ground Floor Area:</u>                 | 1500 square feet/single story<br>1000 square feet/multi-story<br>(2000 sq. ft. total) |
| 3. <u>Minimum Lot Size for single unit:</u>          | 5800 square feet-single unit  |
| 4. <u>Minimum Lot Size for paired unit:</u>          | 4600 square feet for each<br>unit   |
| 5. <u>Minimum Lot Width</u>                          | 35 feet for single unit<br>60 feet for paired unit                                    |
| 6. <u>Maximum Height:</u>                            | 35 feet principal structure   |
| 7. <u>Minimum Front Yard Setback:</u>                | 18 feet from back of curb   |
| 8. <u>Minimum Setback from Northfield Drive R/W:</u> | 50 feet   |
| 9. <u>Minimum Distance Between Buildings:</u>        | 20 feet   |

10. Minimum off street parking spaces 2 per unit

B. Buffer/Landscape Requirements

Buffer/Landscaping requirements shall be as regulated in Section 8 this Ordinance.

C. Architectural Requirements

The minimum architectural requirements are as follows:

1. The buildings shall consist of single units and doubles/two paired units.
2. All buildings will be constructed of wood, masonry, brick, stone and/or cultured stone materials. No vinyl or aluminum siding shall be permitted.
3. All buildings shall have dimensional shingles.
4. All buildings shall have a roof pitch of no less than 6/12.
5. All buildings shall have an eight (8) inch overhang.
6. Soffits and gutter boards shall be constructed with wood products.
7. All drives shall be concrete.
8. The exterior chimneys on all buildings shall be brick, masonry, stone or cultured stone.

D. Additional Requirements

The following additional requirements shall be met:

1. All internal streets are constructed with a street width of twenty-four (24) feet from back of curb to back of curb and shall be private roads maintained by the Camargo Club Home Owners Association. Developer shall initiate a petition to vacate the existing road right-of-way within thirty (30) days of the adoption of this Ordinance.
2. Decorative street lighting exists along all internal streets and is full cut-off fixtures. The description of the lighting will be either the same or similar to Exhibit "E".
3. All mailboxes shall have a common post design, box size and color approved by the Developer.
4. A model home will be allowed within the subdivision. Associated marketing signage, flagpoles, banners, and pennants will be allowed as well as providing for directional signage as follows:
  - a) The model home shall be allowed one (1) sign per model with a maximum size of 32 square feet.
  - b) A sign monument shall be allowed to designate the model home. The maximum size of the model home sign panel is be 40 square feet.

**SECTION 5**

**Legacy Park**

**5.01 PURPOSE**

The purpose of Legacy Park is to permit multi family dwellings (apartments) having centralized sewer and water facilities. All public infrastructure is existing and living units constructed.

**5.02 PRINCIPLE USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- A. Non-Commercial Active/Passive Recreation
- B. Multi Family Dwellings
- C. Club House

**5.03 ACCESSORY USE PERMITTED**

Accessory uses shall be permitted as follows:

- A. Signs
- B. Garages
- C. Trash Compactor
- D. School Bus Shelter
- E. Other accessory uses and structures in conjunction with a primary use or structure provided the accessory use does not change the character of the district.

Accessory uses and buildings shall be incidental and subordinate in height, area, bulk, extent and purpose to the principle use. Accessory buildings shall not be erected prior to the principal building.

**5.04 SPECIAL EXCEPTION USES PERMITTED**

Special exception uses shall be permitted as follows:

- A. Home Occupation
- B. Home Day Care
- C. Publicly Owned Buildings and Facilities
- D. Religious Places of Worship

**5.05 DEVELOPMENT STANDARDS**

A. Property Development Standards. The minimum dimensions shall be as follows:

- 1. Maximum Number of Apartment Units: 250
- 2. Maximum Height: 50 feet
- 3. Minimum Setback from Northfield Drive R/W: 50 feet
- 4. Minimum Distance Between Buildings: 20 feet
- 5. Minimum Off Street Parking Spaces: Two (2) per unit  
(includes drives and garage spaces)

## B. Sign Requirements

Sign requirements shall be regulated according to the approved DPR.

### 1. Permits Required

- A. If a sign requiring a permit under the provision of this Ordinance is to be placed, constructed, erected, or modified on a property, the owner of the lot shall secure a sign permit prior to the construction, placement, erection, or modification of such sign in accordance with the requirements of the Brownsburg Zoning Ordinance.
- B. No sign permit of any kind shall be issued for an existing or proposed sign unless such sign is consistent with the requirements of this Ordinance.

### 2. Exempt Signs

All signs designated as exempt in the Brownsburg Zoning Ordinance. These signs are exempt from the obligation to obtain an Improvement Location Permit (ILP) provided the sign complies with the provisions contained in each subsection.

### 3. On Premise Signs

- A. On-premise signs shall include all permitted signs for multi-family developments under the Brownsburg Zoning Ordinance.
- B. Other Permitted Signs:

#### i) Project Identification Signs:

- a) The design of the sign shall be consistent with development's architectural vocabulary.
- b) The maximum area per sign shall not exceed seventy-five (75) square feet.
- c) The area surrounding the sign shall be appropriately landscaped and in compliance with this Ordinance and the Brownsburg Zoning Ordinance. Where differences occur the Brownsburg Zoning Ordinance shall prevail.
- d) The sign may be externally illuminated
- e) The sign shall not exceed fifteen (15) feet in height.
- f) Matching signs which border either side of one entrance, shall be treated as one sign, but both sign faces shall be used to calculate the total sign area.

ii) Street Signs: Custom and/or standard street signage must be in compliance with the Town of Brownsburg Subdivision Control Ordinance. The poles may be decorative as inspired by the developer. Such custom signage shall be installed at the Developer's expense and maintained by the owner of or authorized management organization for the parcel(s) in which they are placed.

iii) Construction Signs: for each street frontage of a lot upon which construction of any structure is in progress, provided the following standards are met:

- a) The maximum sign area shall be thirty-two (32) square feet.
- b) The maximum height of each sign shall be eight (8) feet.
- c) The sign shall not be illuminated.
- d) The sign shall be removed within seven (7) days after the beginning of the intended use of the building.

- e) Sign copy shall be limited to identification of the building, architects, engineers, contractors, and other persons involved with the construction, but shall not include any advertising or product other than a rendering of the building being constructed.

iv) Promotional Signs:

- a) Signs depicting the site plan of a district, parcel, or sub-parcel assuming completion of development in accordance with the development plan and indicating the location within the Real Estate of the person viewing the sign, provide the following standards are met:
  - i) The maximum size for each subject area sign shall be thirty-two (32) square feet.
  - ii) The maximum height shall be eight (8) feet.
  - iii) The sign may be externally illuminated until 11:00 PM each night.
  - iv) Promotional Signs shall be removed from a subject area when 95% of the lots or commercial space in that subject area has been sold, leased and/or rented.
- b) Signs containing a rendering of one or more buildings expected to be constructed on a lot or portion of the Real Estate, provided the following standards are met:
  - i) The maximum size for each subject area sign shall be forty (40) square feet.
  - ii) The maximum height shall be eight (8) feet.
  - iii) The sign may be externally illuminated until 11:00 PM each night.
  - iv) One sign will be permitted for each street frontage of the lot or portion of Real Estate upon which construction of the depicted building is contemplated.
  - v) The sign shall be removed not later than thirty-six (36) months following installation thereof unless construction of the building has commenced prior to that date and, if construction commences, the sign shall be removed within seven (7) days after the beginning of the intended use of the building.

v) Real Estate Sales and Leasing Signs: provided the following standards are met:

- a) The maximum sign area shall be twenty (20) square feet.
- b) The maximum height of the sign shall be eight (8) feet.
- c) Limited to one sign for each street frontage of the lot, with no more than two (2) sign faces per sign.
- d) The sign shall not be illuminated.
- e) Signs shall be removed within seven (7) days after the date the unit is leased, sold, or occupied.

vi) Where premises identification are removed or become illegible, such numeral shall be renewed or replaced by the owner or occupant of the building.

- vii) All signs and sign structures shall be kept and maintained in good repair and in safe condition.
- viii) No sign shall be permitted to be placed on any wall, fence, or standard unless fronting a thoroughfare, alley, or rear lane, or unless located in a side yard that fronts a thoroughfare, alley, or rear lane.

#### 4. Off Premise Signs

Off-premise signs shall comply with the Brownsburg Zoning Ordinance.

#### 5. General Permit Procedures

General permit procedures shall comply with the Brownsburg Zoning Ordinance.

### C. Buffer/Landscape Requirements

Landscaping requirements shall be regulated according to the approved Hendricks County DPR 361/07.

### D. Lighting Requirements

Lighting in Legacy Park shall be in accordance with the following standards and specifications and all lighting specifications shall be brought to the Plan Commission or Administrative Staff at the Final Hearing for their sole discretion to approve or deny:

1. Light sources shall be located and installed in such a way that minimizes light spilling over onto contiguous properties.
2. On-site lighting of buildings, lawns, and parking areas shall be designed so as not to shine or cause glare in excess of one-half (0.5) footcandle(s) onto adjacent buildings, properties, public streets, or vehicles thereon.
3. Light poles within one hundred (100) feet of residential uses shall not exceed twenty (20) feet in height.
4. Special attention shall be given to the intensity, function, and appearance of lighting to be installed. Lighting installed shall be consistent with other lighting in the surrounding area.
5. Reflected glare on nearby buildings, streets, or pedestrian areas shall be mitigated by utilizing overhangs and awnings; using non-reflective building materials for exterior walls and roof surfaces; controlling angles of reflection; and placing landscaping and screening in appropriate locations.
6. Wall packs equivalent to 14" x 9" x 1 1/2" with a maximum wattage of 175 shall be permitted in Legacy Park.
7. Decorative street lighting shall be placed along all internal streets.

### E. Architectural Requirements

#### E. Architectural Requirements

The minimum architectural requirements are as follows:

1. All apartment buildings will be constructed of seventy percent (70%) masonry materials, excluding upper gables, exterior hallways, doors and windows.
2. The minimum gage for vinyl covering shall be 0.42 dutch lap profile.
3. Each apartment shall be furnished with a washer and dryer hook up and there shall be a coin operated washer and dryer in the clubhouse.
4. Each unit shall have either a patio, deck or balcony.

5. All buildings shall have a roof pitch of no less than 6/12 at the hip and 5/12 in the gables.
6. All buildings shall have a minimum of a twelve (12) inch overhang.
7. There shall be no carports.
8. Garage units shall be constructed with masonry materials, excluding gables and between the garage doors.
9. There shall be one (1) trash compactor constructed within the development.
10. At least two (2) school bus shelters shall be constructed within the development.
11. Exterior chimneys on all buildings shall be brick, masonry, stone or cultured stone.

F. Additional Requirements

The following additional requirements shall be met:

1. All internal streets shall be private streets and maintained by the Home Owners Association.
2. All mailboxes shall have a common post design, box size and color approved by the Developer.
3. The Club House shall be constructed with ninety percent (90%) masonry materials, excluding gables.
4. Roads and drives accessing the Club House shall be private roads and drives and be maintained by the Home Owners Association
5. The apartment buildings will have a 40 foot minimum setback from the north property line.
6. The apartments will be conventionally financed with no government funding or tax credits.
7. Projected apartment breakdown is as follows with a 10% allowable variance in the unit counts:

116 – 2 bedroom/2 bath units

68 – 1 bedroom/1 bath units

33 – 2 bedroom/1 bath units

33 – 3 bedroom/2 bath units

TOTAL UNITS: 250

7 Buildings with 5 garages each, 35 total.

4 Buildings with no garages

## SECTION 6

### Heritage Crossing

#### **6.01 PURPOSE**

The purpose of Heritage Crossing is to provide smaller scale commercial lodging, recreation, personal services, restaurants, retail stores, and general businesses designed to service the traveling public as well as local residents.

#### **6.02 PRINCIPAL USES PERMITTED**

Principal permitted uses or similar uses consistent with the purposes of the section shall be as follows:

- a. Animal services, miscellaneous
- b. Animal services, veterinary
- c. Art or music school
- d. Assisted living facilities
- e. Automotive service, minor
- f. Bars, taverns, and lounges
- g. Business and professional associations
- h. Charitable institutions
- i. Civic, social, religious, political or fraternal organization
- j. Indoor commercial entertainment facilities
- k. Indoor commercial recreational facilities
- l. Convenience store, regional
- m. Dance halls, studios, schools
- n. Day care, centers and nursery schools
- o. Health services
- p. Health and fitness center
- q. Junior college and technical institute
- r. Libraries and information center
- s. Liquor store (carry-out only)
- t. Medical and dental labs
- u. Medical clinic
- v. Nursing home, personal care facilities
- w. Office research park
- x. Parks and playgrounds
- y. Printing trade services
- z. Private clubs, lodges or camps
- aa. Private school
- bb. Professional service, accounting, auditing and bookkeeping, public finance, notary public and taxation
- cc. Professional service, advertising, personnel, supplies
- dd. Professional service, banking, lending institutions, insurance agents and brokers and the like
- ee. Professional service, educational services
- ff. Professional service, engineering, architectural, real estate
- gg. Professional service, laundry, photographic studio, beauty, barber, tailoring, and the like
- hh. Professional service, legal
- ii. Professional service, miscellaneous services

- jj. Professional service, non-commercial research organizations
- kk. Professional service, physicians and dentists
- ll. Professional service, social services
- mm. Restaurant
- nn. Retail, apparel and accessory stores
- oo. Retail, drug stores, florist, personal services
- pp. Retail, food stores
- qq. Retail, furniture, equipment, appliances, furnishings
- rr. Retail, miscellaneous
- ss. Retail, music, video, photograph
- tt. Retail, novelty, gift, souvenir store, excluding adult uses
- uu. Retail, professional service
- vv. Trade or business school
- ww. Accessory buildings and structures

### **6.03 SPECIAL EXCEPTION USES PERMITTED**

Temporary and/or season uses shall be permitted as Special exception uses.

### **6.04 DEVELOPMENT STANDARDS**

A. Property Development Standards. The minimum dimensions shall be as follows:

1. Accessory building. The minimum side and rear setbacks are ten (10) feet.
2. Lot size. There is no minimum lot area requirement.
3. Lot width. There is no minimum lot width requirement.
4. Front yard setback. The front yard setback is fifty (50) feet.
5. Side yard setback. The minimum side yard setback is ten (10) feet.
6. Rear yard setback. The minimum rear yard setback is thirty (30) feet if it is serviced from the rear and ten (10) feet if it is not.
7. Height. Buildings or structures in this district may be erected to a maximum of one hundred (100) feet.
8. Floor area. There is no maximum gross floor area.
9. Lot coverage. The maximum lot coverage is seventy percent (70%)

### **6.05 ADDITIONAL REGULATIONS**

- A. Temporary Uses. Certain temporary uses may be permitted subject to the provisions in the Brownsburg Zoning Ordinance § 155.130.
- B. Parking standards. Parking standards applicable in the commercial districts as set forth in the Brownsburg Zoning Ordinance § 155.261.

- C. Landscaping standards. Landscaping regulations applicable as set forth in Brownsburg Zoning Ordinance § 155.270 through 155.278.
- D. Architectural standards. Architectural standards applicable as set forth in Brownsburg Zoning Ordinance § 155.285 through 155.288 and 155.289 (B) and (C).
- E. Sign standards. Sign standards applicable as set forth in Brownsburg Zoning Ordinance § 155.295 through 155.298.
- F. Performance standards. Performance standards applicable as set forth in Brownsburg Zoning Ordinance § 155.305 through 155.310.
- G. Traffic Light. A traffic signal shall be installed at the intersection of State Road 267 and Northfield Drive at the time the Indiana Department of Transportation determines a traffic signal is warranted.

## SECTION 7

### Open Space and Amenities Commitments

#### **7.01 PURPOSE**

The purpose of the open space and amenities within this development is to conserve and enhance the existing natural features, wetlands and floodways; create active and/or passive recreational opportunity and serve as buffers between types of land use.

#### **7.02 DESIGN STANDARDS**

The following standards shall apply to the open space and amenities areas:

- A. Common Open Space: 102 acres, more or less, including a pool and club house
- B. Passive Common Open Space: There are approximately 79 acres of passive open space which includes White Lick Creek, ravines, woods, wetlands and retention ponds with a pathway system through these areas.
- C. All playground equipment, if any, shall meet International Play Equipment Manufacturers Association (IPEMA) certification and U.S. Consumer Product Safety Performance Specifications. In addition, the play structure, if any, will also meet ADA (Americans with Disabilities Act) guidelines.
- D. Playground surfacing, if any, shall meet the cushioning standard of the Consumer Product Safety Commission.
- E. All open space areas shall be maintained and insured by the Homeowners Association or its successors and/or assigns.
- E. To the extent possible, the natural features of the site shall be preserved. Additional plantings and passive recreational features shall be added to enhance the site.

#### **7.03 CONSERVATION AND PRESERVATION**

A tree conservation and preservation area will be established with this development.

- A. The conservation area will consist of the area located within and adjacent to the subdivision bounds. The intent is to eliminate as few trees as possible and to leave mature trees for future lots.
- B. The preservation area will be located outside of the subdivision bounds and is intended to not be disturbed. Clearing of trees and vegetation should occur only in areas required for earthwork movement, street construction, building pad preparation, utility, and drainage installation.
- C. Prior to disturbance of any trees, a meeting should occur between the developer, engineer, contractor and a representative of the Town of Brownsburg to determine the extent and location of any clearing to occur. The tree conservation or preservation area should then be delineated by a yellow ribbon tape to prevent grading or clearing into the tree conservation and preservation areas. After clearing has occurred, a snow fence will be installed to eliminate disturbance in the tree preservation area.

## SECTION 8

### Residential Landscape Requirements

#### **8.01 PURPOSE**

- A. The purpose of the residential landscape commitments is to establish the character, look, and buffer of the single family uses from other land uses within the development, as well as with adjoining properties.
- B. The purpose is also to provide minimum standards involving the development of the site while creating attractive views from roads and adjacent properties, and to screen the views between the site and its adjacent properties.

#### **8.02 GENERAL REQUIREMENTS**

Any building, structure or use of land, when erected or enlarged, shall provide a landscape plan with a minimum of the design elements within the following provisions of this Section. The Builders shall submit for the Developers review all proposed site and development plans with all plant material specified. The plan should be prepared by licensed landscape architect, nurseryman, or another professional experienced in landscape design and the installation and care of plant materials.

#### **8.03 DESIGN STANDARDS**

A. The following standards shall apply to New England Way and New England Way South:

- 1. Each residential lot shall have one street tree in the yard along a street, trees shall be located outside of the right-of-way. Trees shall be a minimum of size 2 ½” caliper.
- 2. All homes will have a landscape plan consisting, at a minimum, of a sodded or hydro-seeded front and side yard and ten feet (10’) from the home in the rear yard, eight (8) shrubs (minimum 3 gallon size) and one ornamental tree (minimum 1 ½” caliper).  
All plant materials shall be living plants and shall conform to the standards of the American Association of Nurserymen and shall have passed any inspections required by the State.

B. Annsdale and The Hamptons shall meet the landscaping requirements pursuant to §§ 270-279 Brownsburg Zoning Ordinance effective May 1, 2010.

C. All units within Camargo Club shall have a landscape plan consisting, at a minimum, of a sodded front yard. Excluding ten (10) feet off of the rear and side lot lines, the rear and side yards will be sodded. The remainder should be either sodded, hydro-seeded or seeded with proper erosion control. It will include eight (8) shrubs (minimum 2 gal. Size, or equivalent) and one ornamental tree (minimum 1.5” caliper) or one evergreen tree (6' minimum) in a mulched front foundation plant bed per unit.

D. Mounds shall be constructed along both sides of Northfield Drive from New England Way to the west intersection of The Hamptons/Annsdale. The mounding is to provide screening and landscaping and the mounds shall vary in height from three (3) feet to six (6) feet with a maximum side slope of 3:1. Plantings will be consistent with what

currently exists along the constructed portion of Northfield Drive. Specific details and planting materials will be a part of the final construction plans. See attached Exhibit "F".

- E. As much as possible, trees 4" caliper and larger should be preserved. A three (3) foot protective fence shall be installed around the drip line of the tree prior to beginning of construction and remain until the lot is ready to be landscaped. Maintenance of tree protection will be the sole responsibility of the builder on the lot during construction.

## **SECTION 9**

### **Signage Requirements**

#### **9.01 PURPOSE**

The purpose of the signage regulations are to encourage the effective use of signs as a means of communication in the development, to maintain and enhance the residential communities, the aesthetic environment and the developments ability to attract sources of economic development and growth, to improve pedestrian and traffic safety, to minimize the possible adverse effect of signs on nearby public and private property, and to enable fair and consistent enforcement of these signage restrictions.

#### **9.02 APPLICABILITY EFFECT**

- A. In general. Excluding signs permitted prior to the effective date of this Ordinance, signs may be erected, placed, established, painted, created, or maintained in the development only in conformance with the standards, procedures, exemptions, and other requirements of the Brownsburg Zoning Ordinance effective May 1, 2010.
- B. Custom signs. Custom street signage must be in compliance with the Town of Brownsburg Subdivision Control Ordinance. At all times, custom street signage shall be installed at the expense of the Developer and/or the Property Owners' Association. The Town shall maintain all street signage. The Town shall replace the signs as needed with standard street signage consistent in the Town of Brownsburg unless otherwise coordinated with the Developer or Property Owners' Association.

#### **9.03 GENERAL PERMIT PROCEDURES**

General permit procedures shall comply with the Brownsburg Zoning Ordinance.

## Exhibit “D”

### Elevation Pattern Book

---

#### **Northern Craftsman**

Northern Craftsman architectural style is an adaptation of Craftsman architecture with modifications to exterior veneers and roof pitches.

##### ***Design Characteristics:***

- Steep pitched roofs

##### ***Roof Design:***

- 6:12 pitch main roofs
- 8:12-10:12 accent roofs
- Gables
- Shingle, Flat tile
- Metal accent roofs

##### ***Railings:***

- Open Picket, spaced boards

##### ***Veneer:***

- Brick or siding
- Board & batten, lap siding, stone, brick or shake (accent)

##### ***Window Treatments:***

- 6" top treatments with angle cuts
- 3-4" side treatments
- 3-4" sill trim, extend beyond sides
- Vertical Only at top half of window, 3 over 1

##### ***Columns & Bases:***

- Tapered Square on base
- Double post on pedestal base

##### ***Accents:***

- Accent bands and corner boards
- Louvers and vents
- Brackets, braces, and corbels
- Faux trim accent details
- Plant ledge details







## Elevation Pattern Book

---

### Cottage

Cottage style (English or French cottage) homes have many of the same details of Tudor style homes, but are commonly built to a much smaller scale. Characteristics include steep-pitched roofs, use of dormers, and stone or brick accents on an otherwise stucco veneer. Homes often have a higher level of detail than other architecture styles might include.

#### **Design Characteristics:**

- Steep-pitch roof
- Use of Dormers

#### **Roof Design:**

- 6:12 main roof pitch
- 7:12-12:12 accents
- Gables and hips
- Shingles and flat tile
- Metal accent roofs

#### **Railings:**

- Open Picket, spaced boards

#### **Veneer:**

- Stucco, siding, or brick
- Board & batten, lap siding, stone, or brick accents

#### **Window Treatments:**

- 6" top treatment, straight cut
- 3-4" side and sill trim
- Board & batten or wing shutters
- Full square window grids 6 over 1

#### **Columns & Bases:**

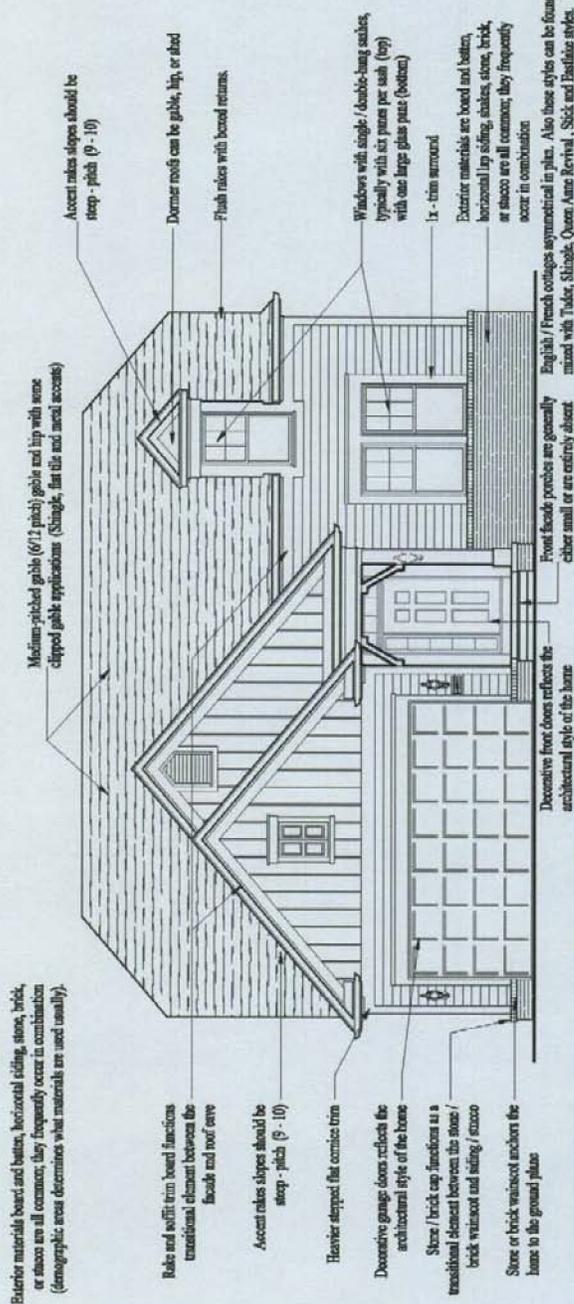
- 8" post with curved brackets

#### **Accents:**

- Accent bands
- Louvers and vents
- Bracket, braces, and corbels
- Plant ledge details



COTTAGE STYLE (ENGLISH OR FRENCH) HOMES HAVE MANY OF THE SAME DETAILS OF TUDOR STYLE HOMES, BUT ARE COMMONLY BUILT TO A MUCH SMALLER SCALE. CHARACTERISTICS INCLUDE STEEP ROOFS, USE OF DORMERS, AND STONE OR BRICK ACCENTS ON AN OTHERWISE STUCCO VENEER. HOMES OFTEN HAVE A HIGHER LEVEL OF DETAIL THAN OTHER ARCHITECTURE STYLES MIGHT INCLUDE.



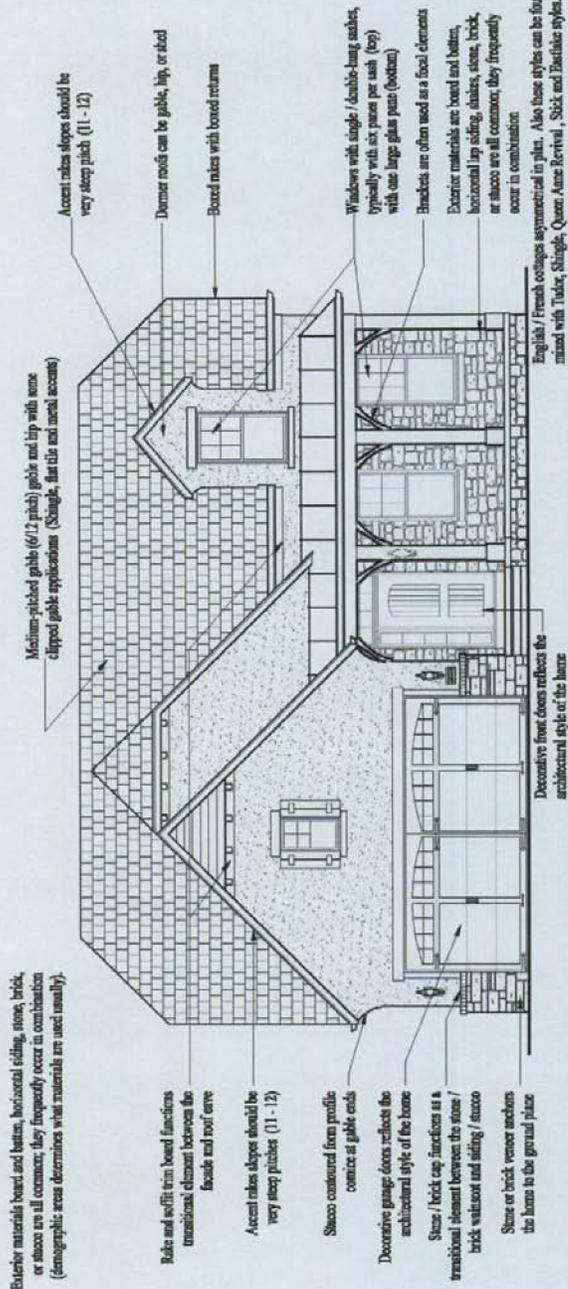
**STYLE ELEMENTS**

<b>Corner Condition</b> 9-10 	<b>Window Treatment</b> Tilted cap 	<b>Front Entry</b> 	<b>Bay / Box Window</b> Box bay cantilevered (no foundation) 	<b>Additional Style Elements</b>
<b>Open rake gable with stepped trim</b> 	<b>Gable Elements</b> Example of panel shutters wrapped with 1x trim 	<b>Open gable above porch with brackets</b> 	<b>2-4\"/&gt; </b>	

**COTTAGE STYLE**  
RESIDENTIAL CONCEPT ELEVATION

**TIER 2**

COTTAGE STYLE (ENGLISH OR FRENCH) HOMES HAVE MANY OF THE SAME DETAILS OF TUDOR STYLE HOMES, BUT ARE COMMONLY BUILT TO A MUCH SMALLER SCALE. CHARACTERISTICS INCLUDE STEEP ROOFS, USE OF DORMERS, AND STONE OR BRICK ACCENTS ON AN OTHERWISE STUCCO VENEER. HOMES OFTEN HAVE A HIGHER LEVEL OF DETAIL THAN OTHER ARCHITECTURE STYLES MIGHT INCLUDE.



**STYLE ELEMENTS**

- Corner Condition**: 1:12
- Window Treatment**: Mansard roof
- Gable Elements**: Example of fixed glass with pane shutters
- Front Entry**: Soft arch over entrance with cornice from cornice
- Bay / Box Window**: Use wide sills
- Flat-tile roof**: Open gable dormer with cornice from cornice
- Fixed Glass with wing pane shutters**: Example of window treatments
- Decorative front doors reflects the architectural style of the home**
- 6'-0" Deep porch from front facade**
- Bar bay with foundation below**
- Examples of other elements with windows below**
- Open rake gable with cornice from cornice**

**ADDITIONAL STYLE ELEMENTS**

**COTTAGE STYLE**  
RESIDENTIAL CONCEPT ELEVATION

**TIER 3**

## Elevation Pattern Book

### Classical

Classical style architecture incorporates Colonial, Georgian, and Farmhouse influences. Homes are commonly two stories and are very symmetrical in terms of massing, window/door, and detail placement. Porches with wood railings, columns, and horizontal siding are common to classical architecture homes.

#### **Design Characteristics:**

- Porches
- Simple gable roof forms
- Siding & brick wrapping house

#### **Roof Design:**

- 6:12-8:12 pitch roofs
- Gables, and hips
- Shingle, and flat tile
- Metal accents

#### **Railings:**

- Open picket

#### **Veneer:**

- Stucco, siding, or brick
- Stucco, siding, or brick accents

#### **Window Treatments:**

- Trim used on all windows-stepped or
- 6" to 10" cross head top pediment trim
- Shutters used Louvered or Panel
- Full square window grids-6 over 6

#### **Columns & Bases:**

- No bases, round or square build-up

#### **Accents:**

- Basic square louvers and vents
- Corner boards
- Dental, crown, frieze details
- Dormers



**SAMPLE SQUARE OR RECTANGLE SHAPE, WELL BALANCED, SYMMETRICAL EXTERIOR AND AN ORNATELY DECORATED ENTRANCE WERE THE PRINCIPAL FEATURES.**

**Annotations:**

- Moderately pitched main body gables (6 - 8) occasionally hipped
- Plattis rakes with Queen Ann returns.
- Coronices emphasized with 1 x 2 over 1 x 10 trim boards minimum
- Classical Style windows are aligned horizontally and vertically in symmetrical rows
- Windows with single / double hung rakes, typically with one or two small panes per sash; windows very rarely grouped together
- Classical shutters are usually paired or leaver
- Classical Style roof materials are shingle, tile and some metal accents roof
- Plattis rakes with Queen Ann returns.
- Coronices emphasized with 1 x 2 over 1 x 10 trim boards minimum
- Accent rakes slopes should be moderate (8 - 9 pitch)
- Lowen gable elements wrapped with 1 x 1 - trim or stucco
- Coronices emphasized with 1 x 2 over 1 x 10 trim boards minimum
- Exterior materials are siding, brick and stucco
- Classical Style paneled garage door
- Brick sill cap functions as a transitional element between the brick window and siding / stucco upper facade
- Classical Style garage and front doors are normally paneled
- Carved ornate entry was usually the only decoration (except for the cornice) on the exterior. Covered porch - 5'-6" deep (minimum)

**STYLE ELEMENTS**

- Window Treatment:** Stone bay
- Window Pediments:** Stone bay, Without stone bay
- Examples of other elements with windows below:** Classical entrance with fixed glass above door
- Back Veneer Quoins or Zipper Quoins at corner:** 60 or 45 degree bay cantilevered (no foundation)
- Bay / Box Window:** Shingle or Metal roof
- Front Entry:** Rectangular windows with door below
- Garble Elements:** Lowen, Stone bay, Stone bay
- Examples of gable elements with brick surround:** Palladian window with brick surround
- Corner Condition:** Open raze gable with stepped trim

**ADDITIONAL STYLE ELEMENTS**

- Window Pediments:** Stone bay, Without stone bay
- Classical entrance with fixed glass above door**
- Back Veneer Quoins or Zipper Quoins at corner**
- Bay / Box Window:** Shingle or Metal roof
- 60 or 45 degree bay cantilevered (no foundation)**
- Front Entry:** Rectangular windows with door below
- Garble Elements:** Lowen, Stone bay, Stone bay
- Examples of gable elements with brick surround:** Palladian window with brick surround
- Corner Condition:** Open raze gable with stepped trim

**CLASSICAL STYLE**  
RESIDENTIAL CONCEPT ELEVATION

**TIER 2**

**SIMPLE SQUARE OR RECTANGLE SHAPE, WELL-BALANCED, SYMMETRICAL EXTERIOR AND AN ORNATELY DECORATED ENTRANCE WERE THE PRINCIPAL FEATURES.**

**Annotations:**

- Classical Style roof materials are slating, tin tile and some metal accents roofs
- Classical Style roof forms are side-gables (as illustrated), hipped and center gable.
- Box rakes instead of flush rakes.
- Coronice emphasized with tooth-like details or other decorative moldings
- Accent rakes slopes should be high (10 - 12 pitch)
- Fixed glass gable elements
- Coronice emphasized with tooth-like details or other decorative moldings
- Exterior materials are brick, stone and stucco
- Classical Style panel garage door with glass
- Moderately pitched main body gables (6 - 9) occasionally hipped
- Box rakes instead of flush rakes.
- Accent rakes slopes should be steep pitches (10 - 12)
- Coronice emphasized with tooth-like details or other decorative moldings
- Classical Style windows are aligned horizontally and vertically in symmetrical rows
- Windows with single / double-hung casings, typically with six or nine small panes per sash; windows very rarely grouped together
- Classical shutters are usually paired or (never)
- Carved entrance entry was usually the only decoration (except for the cornice) on the exterior. Covered porch - 5' 0" deep (minimum)
- Classical Style garage and front doors are normally parallel

**STYLE ELEMENTS**

- Center Condition:** Open rake gable with denture trim
- Window Treatment:** Stone bay, Fluted
- Gable Elements:** Fixed Glass, Window Stone Key, Stone Key
- Front Entry:** Rectangular, Elliptical and circular with door below
- Bay / Box Window:** Metal roof, 60 or 45 degree bay with foundation below
- Stone or Brick Quoin or Zipped Quoin at Cornice:** 1/2 round window above door with windows below

**ADDITIONAL STYLE ELEMENTS**

- Fixed Glass:** Stone bay, Stone bay
- Classical entrance with 1/2 round window above door with windows below**

**CLASSICAL STYLE**

**TIER 3**

**RESIDENTIAL CONCEPT ELEVATION**

## Elevation Pattern Book

---

### Low Country

Low Country architecture developed in South Carolina, Virginia, and Maryland. These areas which had been rich with Southern "plantations" broke into two cultures, the low-country of aristocratic planters and the up-country of democratic farmers. Low-country style features steep-pitched roofs, dormer windows and shutters, and significant porches which commonly extend the width of the home.

#### ***Design Characteristics:***

- Steep pitch roofs
- Use of dormers
- Significant porches

#### ***Roof Design:***

- 6:12-8:12 pitch
- Gables and hips
- Shingle
- Metal accents

#### ***Railings:***

- Open Picket

#### ***Veneer:***

- Stucco, siding, or brick
- Shake, siding, or brick accents

#### ***Window Treatments:***

- Stepped top pediment trim
- Side and sill trim as well
- Louvered or paneled shutters
- Full square window grids 2 over 2 or 4 over 4

#### ***Columns & Bases:***

- Round or square build-up column, min. 6"

#### ***Accents:***

- Louvers & vents
- Corner boards and accent bands
- Limited use of Bracket, braces, and corbels



LOWCOUNTRY ARCHITECTURE ORIGINATED IN LOUISIANA AND SPREAD INTO SOUTH CAROLINA, VIRGINIA AND MARYLAND. SOUTHERN CLIMATE CONDITIONS HAVE HAD A DRAMATIC IMPACT UPON LOWCOUNTRY ARCHITECTURE. LOCAL UNDERSTANDING OF NATURAL ENVIRONMENTAL FORCES ENABLE SOUTHERNERS TO BUILD IN WAYS THAT BUFFERED US AGAINST OUR HARSH CLIMATE CONDITIONS. LONG, DEEP PORCHES WITH SOUTHERN EXPOSURE, HIGH CEILINGS, RAISED FOUNDATIONS, LARGE OPERABLE WINDOWS, APPROPRIATE SHADING AND DESIGN ORIENTATIONS THAT UTILIZED PREVAILING WINDS AND SUN ANGLES MADE THE HEAT AND HUMIDITY MORE BEARABLE.

Roof materials are shingles, flat tile, metal accents

Roof forms are side-gabled (as illustrated), hipped and center gable.

Flush ridges with Queen-Ann returns.

Fascia trim with 1 x 6 trim board (maximum)

Ascent makes slopes should be moderately steep (8/12 - 9/12 pitches). Also roof forms can be hip, gable and Dutch gable

Rake and soffit trim board functions as a transitional element between the facade and roof eave

Exterior materials are horizontal lap siding, shakes, stucco and brick

Brick veneer functions as a transitional element between the brick veneer and siding / stucco

Brick veneer anchors the home to the ground plane

Lowcountry garage and front doors are normally paneled

Decorative panel

Full length graceful front porches are common which provided protection and shade from the weather

1x - trim around

Raised foundation for better air movement

Modernity to steep pitched main body gables with 4/12 pitch breaks

Flush ridges with Queen-Ann returns.

Roof dormer with shed or gable end roof

Rake and soffit trim board functions as a transitional element between the facade and roof eave

Shutters are beveled or paneled

Windows with double-hung sashes, typically with two or four panes per sash

Corner Condition

Window Treatment

Dormer

Front Entry

Bay / Box Window

Additional Style Elements

Corner Condition: Closed raked gable with stepped trim frieze

Window Treatment: Typical window with shutters and stepped trim.

Dormer: Roof dormer with standard trim

Front Entry: Rectangular windows with door below

Bay / Box Window: Single or double roof 60 or 45 degree bay cantilevered (on foundation)

Additional Style Elements:
 

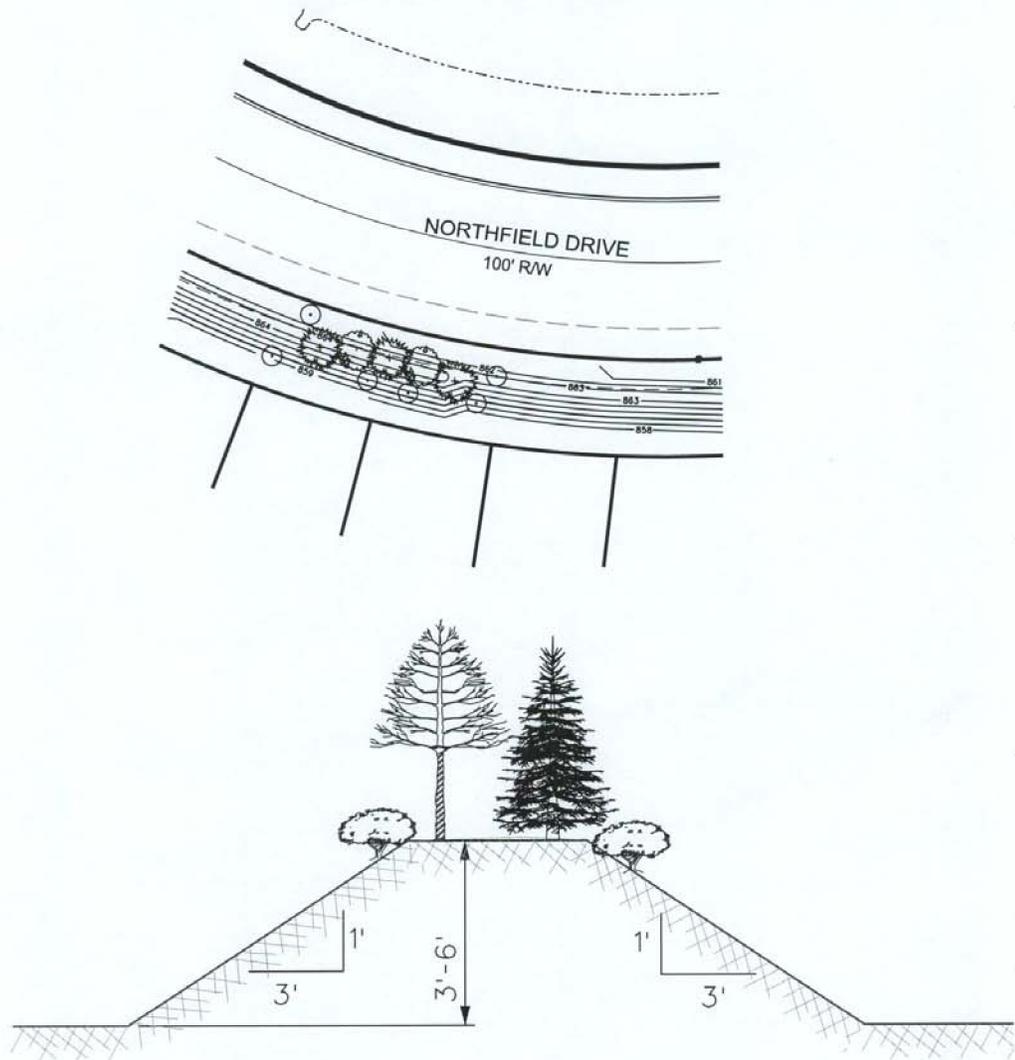
- Decorative panel: Examples of other railing systems
- Deluxe box column at front porch
- Dropped porch beam with stepped trim

LOWCOUNTRY STYLE TIER 2 RESIDENTIAL CONCEPT ELEVATION



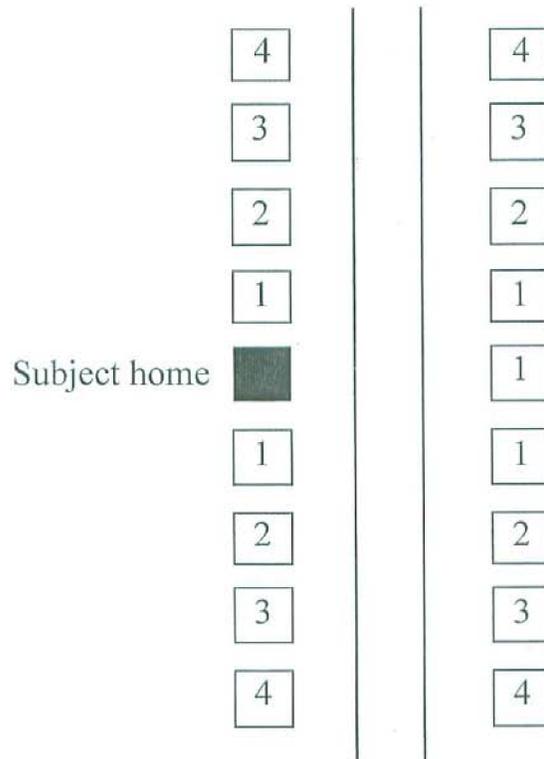


Exhibit "F"



**MOUND PLAN & SECTION**  
NO SCALE

# MONOTONY CODE GRAPHIC



- 1 Home cannot be of the same elevation of the same plan as the Subject home. Must be a different color package.
- 2 Home cannot be of the same elevation of the same plan as the Subject home. Cannot be the identical color package as the Subject home but may have the same brick.
- 3 Home may be of the same plan and elevation as the Subject home, but must be a different color package.
- 4 May be identical to Subject home.